

## Addendum No. 1

**Project:** CM Bldg. 3 Roof Repair  
**State Job No.:** 2023-614  
**Issue Date:** 07-23-2024  
**To:** All Plan Holders  
**From:** Sara Rickards, RA

The following modifications to the Project Manual, Specifications and/or Drawings are to be incorporated into bid proposals that may be offered, and the subsequent construction. Bidders shall assess and include the full impact of the revision(s) on any and all related systems and work. Receipt and incorporation of this Addendum in the bid proposal shall be indicated on the Bid Form in the space provided.

---

### General:

#### Item Description

#### 1. PRE-BID PARTICIPANTS:

- A. Per the Bid Advertisement, a non-mandatory Pre-Bid meeting was held on Wednesday, July 10, 2024 at Washington State Patrol Academy. A copy of the Sign-in sheet of Participants (1 pages) is attached to this addendum.
- B. **Pre-Bid Walk Thru Agenda**
  - 1) Pre-bid walk agenda (3 pages) is attached to this Addendum.

#### 2. GENERAL REFERENCE:

- A. Limited Asbestos Report attached for reference.

#### 3. REQUEST FOR INFORMATION:

- A. **QUESTION:** Can the gutters be continuous 6" K style?  
**ANSWER:** 6" K style is acceptable. Gutters to be fabricated in no more than 50 ft. sections.
- B. **QUESTION:** Detail 5/A-571 notes fascia boards at eaves? However, the demolition and general notes only call out replacing the gable fascia boards.  
**ANSWER:** Demo notes have been updated per this Addendum to clarify fascia boards at eaves are to be replaced.
- C. **QUESTION:** Is there interior finish work required to patch the existing sky light hole as drawn?  
**ANSWER:** No, only structural work is required.
- D. **QUESTION:** Is the DBIDS Pre-Enrollment Application sufficient for the rest of the team, or do we need to do something different?  
**ANSWER:** All visitors, contractors, etc., should go through the DBIDS Pre-Enrollment Application process.
- E. **QUESTION:** Is there a Contractor Pass we can apply for?

**ANSWER:** No contractor pass, use the DBIDS process and up to 60 days can be requested. Extensions or renewals can be accommodated if needed.

- F. **QUESTION:** How will supply and equipment delivery work with the supply house, do we need to let them know that we are doing a project at the base, and they need to make sure their delivery teams are cleared for access prior to deliveries?

**ANSWER:** The contractor should clear deliveries/drivers through the DBIDS process. Drivers should bring paperwork straight to the commercial gate for access and vehicle inspection.

- G. **QUESTION:** How can we estimate roof decking as we will not know if there is any actual damage to the CDX, do we just presume damaged and estimate for it?

**ANSWER:** Yes, estimate it and base from cost per square foot.

- H. **QUESTION:** Is demo permit included with the building permit the owner will be providing?

**ANSWER:** There is not a separate demo permit required.

- I. **QUESTION:** Will we need to have an inspection for this work, or will the onsite liaison be the onsite inspector?

**ANSWER:** This project is permitted by Pierce County and all usual required inspection for work are required.

- J. **QUESTION:** Can we bring in a debris container and leave onsite and have a waste management company pick up every other day?

**ANSWER:** Yes. See Division 01 (017419 @ Construction Waste Management and Disposal

- K. **QUESTION:** On the demo roof plan keynote 5 it states to protect the existing skylight.....does this mean it will stay as is and no change will be required? Because on the roof plan it directs me to detail 14/A-571 Bid Alt#2, I just some clarification on these details.

**ANSWER:** That was an error, the tag has been moved to the existing skylight opening to project east.

- L. **QUESTION:** The demo roof plan keynote 4 states to remove the cover and flashing and curb from skylight opening and then keynote 6 states - skylight opening to be filled in frame to match existing 2x8 @ 16" OC and foil faced polyisocyanurate rigid insulation (r21) mechanically attached to roof joist site verify.....does this mean we are completely removing what is there and sealing off the opening and installing insulation board underneath the new cdx that seals the opening?

**ANSWER:** This is correct.

---

## Architectural Drawings:

### Item Description

#### 4. AD101 DEMOLITION ROOF PLAN -

- 1) Replace in entirety to include key note #10

#### 5. A-161 ROOF PLAN –

- 1) Detail callout 14/A-571 moved to the project east skylight opening.

---

## Project Manual:

### Item Description

**6. ADVERTISEMENT FOR BID:**

- 1) Replace in entirety with correct location for Public Bid Opening to read "Building 36, CFMO Headquarters, Camp Murray, WA 98430" & corrected project manager name.

**7. SECTION 076200 SHEET METAL FLASHING AND TRIM:**

- 1) Replace 2.6.A.2 to read: Fabricate in maximum lengths of 50 feet between expansion joints
- 

**Approved Substitutions:**

**8. NO ITEMS ON THIS ADDENDUM**

**END ADDENDUM NO. 1**

This Addendum is being distributed to all plan holders. Recipients are responsible for dissemination of this information to all affected sub-bidders, suppliers, etc.

Enclosures:

General:

- Pre-Bid walk-thru sign-in sheet (1)
- Pre-Bid walk-thru agenda (3)
- Limited Asbestos Survey Report (10)

Drawings:

- AD101 Demolition Roof Plan (1)
- A-161 Roof Plan (1)

Project Manual:

- Advertisement for Bids (3)

**State of Washington  
Military Department  
Agenda for Pre-Bid Walk-Through**

Date 07/10/2024

Project Number:	2023-614
Project Name:	Building 3 Roof Repair
Location:	3 Infantry Drive, Camp Murray, WA 98430
Project Manager:	Andrew Hunt
PM Phone & Email:	253-512-8868      Email: andrew.hunt@mil.wa.gov

**1. Project Manager Introduces Project Team Members**

A. Project Manager

**Andrew Hunt**

CFMO, Construction Project Manager  
Washington Military Department  
Building 36, Quartermaster Road  
Camp Murray, WA. 98430  
(253) 512-8868 (O) | [andrew.hunt@mil.wa.gov](mailto:andrew.hunt@mil.wa.gov)

B. On-site Representative

**SFC Kyle Balda**

Building Manager

C. Architect

**Architecture**

**Sara Rickards**, Project Manager  
KMB Architects  
(360) 292-1201 (O) | [sararickards@kmb-architects.com](mailto:sararickards@kmb-architects.com)

**Tony Lindgren**, PIC

KMB Architects  
(360) 352-8883 (O) | (253) 376-7997 (C) | [tonylindgren@kmb-architects.com](mailto:tonylindgren@kmb-architects.com)

**Note:** During the pre-bid walk-through meeting, all conversations are considered informal and are not contractually binding unless stated in the contract manual, drawings, or modified by a written addendum. The order of precedence is written addendum, project manual, and lastly contract drawings.

**2. Route a sign-in sheet to all attendees**

**3. The Architect/Engineer Presents the General Description of Scope**

**A. Project Description**

- a. The project consists of replacing the existing 17,000 sq.ft. pitched fiberglass shingle roofing system and modified bituminous sheet roofing with similar kind. To include removing existing roof materials and flashing to sheathing, replacement of all associated roof caps, flashing, drip edges and gutters.

**State of Washington  
Military Department  
Agenda for Pre-Bid Walk-Through**

**B. Time:**

- 1) **Bid Opening** – Public Bid opening will commence at 2:05 PM on Wednesday, 31 July 2024 at [Bldg 36](#). All Bids must be received prior to 2:00 PM on Wednesday, 31 July 2024.
- 2) **Construction time** - Period of performance is 90 Calendar Days after NTP to Substantial Completion. 30 additional days until Final Completion.

**C. Other Issues**

1) **Permits and Hazmat Survey:**

- a. **Hazmat Survey** – By Architect
- b. **Building Permit** – By Owner

2) **Construction Waste Management:**

Division 01 (017419 @ Construction Waste Management and Disposal)

4. **Construction Site Access and Lay-Down Area:** [See Site Plan](#)

5. **Discussion of Security Requirements necessary on this Project**

A. Personal Behavior

- 1) Depending on the project, security clearances will be discussed in further detail at the preconstruction meeting.
- 2) Respectful conduct
  - a) At all times
  - b) Sexual harassment of any kind is cause for removal from the job.
- 3) Work Hours
  - a) Works hours shall be coordinated with Facility Manager during pre-construction meeting. Possible advance arrangements required for staying late or coming in early.
  - b) Institutional holidays
- 4) Work Operations
  - a) Parking areas for workers will be established during the preconstruction meeting to avoid conflict with staff and occupants.
  - b) Specific equipment not allowed to remain overnight in specified areas.
  - c) Procedures for delivery vehicles
    - a. Impact on earth-moving operations
    - b. Ladders
    - c. Special equipment
  - d) Tool inventory/storage requirements if needed.
  - e) Dumpster requirements
  - f) Utility outage
  - g) Interception of materials
  - h) Flammable materials
  - i) Medical emergencies – the contractor’s site-specific safety plan should address this.

6. **Other Projects Currently Occurring on Site -**

**State of Washington  
Military Department  
Agenda for Pre-Bid Walk-Through**

- 7. Project Manager Outlines Project Schedule, Bid Submittal Process, Contracts, etc.**
  - A. MWBE Requirements - None
  - B. Apprenticeship Requirements - None
  - C. Supplemental Bidder Responsibility
  
- 8. Site Walk**
  
- 9. Schedule of Addendum Release Instructions –**
  - a. Questions due – Friday, 19 July
  - b. Addendum release – Tuesday, 23 July
  
- 10. Questions and Answers**



906 Columbia Street SW, Suite 400  
Olympia, Washington 98501  
360.352.8883  
www.KMB-architects.com

## Pre-Bid Walk-Through – Sign-In Sheet

Date/Time: 10:00am, July 10, 2024

Project: Building 3 Roof Repair  
State of Washington Military Department  
3 Infantry Drive, Camp Murray, WA 98430  
State Project # 2023-614

KMB Job. No.: 23041

Name	Company/Position	Phone	Email	General/Sub or Other?
Andrew Hunt	Contact #	Company		
Andrew Hunt	253-366-0575	CFMU		
DWAYNE BEAR	253 778 3176	PIONEER BLINDS SUPPLY		
JESUS GONZALEZ	509 388 1175	COMPLETE RESURFACING & CONSTRUCTION		
Chris		Chris@olympicroofingllc.com		
Cowboy Chris	206-214-6969	Cowboy@olympicroofingllc.com		
Collin Parks	206-276-2516	Polyglass		
CRUZ MOSEBY	360-880-2516	collin@madisonroofing.com MOSEBY ROOFING		
Blake Collier	253-538-9331	blake@dndconstructioninc.com		
Marlon Garcia	253-281-6526	torres & torres Roofing + Sheet Metal		

# Limited Asbestos Survey Report

Camp Murray Building 3 Reroof  
Camp Murray, Washington

Prepared for:  
KMB Architects  
906 Columbia Street SW, Suite 400  
Olympia, Washington 98501

July 11, 2024  
PBS Project 41302.014



214 E GALER STREET, SUITE 300  
SEATTLE, WA 98102  
206.233.9639 MAIN  
866.727.0140 FAX  
PBSUSA.COM



## Table of Contents

<b>1</b>	<b>INTRODUCTION</b> .....	<b>1</b>
1.1	Project Background.....	1
1.2	Building Description .....	<b>Error! Bookmark not defined.</b>
1.3	Survey Process .....	1
<b>2</b>	<b>FINDINGS</b> .....	<b>1</b>
2.1	Asbestos-Containing Materials (ACMs).....	1
2.2	Lead-Containing Paint (LCP) .....	<b>Error! Bookmark not defined.</b>
2.3	Mercury-Containing Components.....	<b>Error! Bookmark not defined.</b>
2.4	PCB-Containing Components.....	<b>Error! Bookmark not defined.</b>
<b>3</b>	<b>RECOMMENDATIONS</b> .....	<b>2</b>
3.1	Asbestos-Containing Materials (ACMs).....	2
3.2	Lead-Containing Paint (LCP) .....	<b>Error! Bookmark not defined.</b>
3.3	Mercury-Containing Components.....	<b>Error! Bookmark not defined.</b>
3.4	PCB-Containing Components.....	<b>Error! Bookmark not defined.</b>

## Supporting Data

### APPENDICES

#### Appendix A: PLM Bulk Sampling Information

PLM Bulk Sample Laboratory Data Sheets  
PLM Bulk Sample Chain of Custody Documentation

#### Appendix B: Certifications

©2024 PBS Engineering and Environmental LLC

## 1 INTRODUCTION

### 1.1 Project Background

PBS Engineering and Environmental, LLC (PBS) performed a limited asbestos survey of Building 3 at Camp Murray. The intent of this investigation is to ensure compliance with applicable regulatory requirements that a "good faith inspection" for ACMs be performed prior to renovations associated with a reroofing project.

All accessible areas of Building 3 included in the scope of the project were inspected for the presence of asbestos-containing materials (ACMs).

### 1.2 Survey Process

Accessible areas included in the project scope were inspected by AHERA Certified Building Inspector Toan Nguyen (Cert. No. IRO-24-9206B Exp. 03-20-2025) on April 16, 2024. PBS endeavored to inspect all accessible areas within the scope of work. Inaccessible areas consist of those requiring selective demolition, fall protection, or confined space entry protocols in order to gain access.

When observed, suspect materials were sampled, or presumed to contain asbestos. All samples were assigned a unique identification number and transmitted for analysis to NVL Labs (NVLAP #102063-0) under chain-of-custody protocols. Samples were analyzed according to EPA Method 600R-93/116 using Polarized Light Microscopy (PLM), which has a reliable limit of quantification of 1% asbestos by volume. Information regarding the type and location of sampled materials can be found on the attached PLM Sample Inventory.

Suspect ACMs may exist in inaccessible areas of the building. PBS endeavored to determine the presence and estimate the condition of suspect materials in all accessible areas. While PBS has endeavored to identify the ACM that may be found in concealed locations, additional unidentified ACM may exist.

## 2 FINDINGS

### 2.1 Asbestos-Containing Materials (ACMs)

The following materials were sampled and found to contain **greater than 1% asbestos**.

- **None of the materials sampled contained detectable asbestos.**

### Non-Asbestos Materials

The following materials were samples and found **not** to contain asbestos.

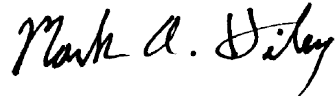
- Asphaltic sealant – roof vent and flashing
- Asphaltic tar – under shingles
- Asphaltic shingle – throughout roof
- Felt paper – under shingles

### 3 RECOMMENDATIONS

#### 3.1 Asbestos-Containing Materials (ACMs)

Asbestos-containing materials were not found as part of this investigation. The possibility exists that suspect ACMs may be present in equipment, wall, and ceiling cavities, and in select areas included in the scope. These may include, but are not limited to pipe insulation, below slab components vapor barriers, and construction adhesives and wall mastics. In the event that a suspect ACM is uncovered during demolition, contractors should stop work immediately and inform the owner promptly for confirmation testing. All untested materials should be presumed asbestos-containing or tested for asbestos content prior to impact.

Report prepared by:



Mark Hiley  
Senior Project Manager

# **Appendix A**

## **PLM Asbestos Bulk Sampling Information**

PLM Asbestos Bulk Sample Laboratory Data Sheets

PLM Asbestos Bulk Sample Chain of Custody Documentation



30620 Pacific Hwy S, #103,  
Federal Way, WA 98003  
(253) 941-4343



Enclosed please find the analytical report for one or more samples submitted for analysis by Polarized Light Microscopy.

**The six types of asbestos fibers are chrysotile, amosite, crocidolite, tremolite, anthophyllite and actinolite. A sample which contains more than 1% asbestos is considered positive and is defined by the EPA as an Asbestos Containing Material (ACM).**

The samples were analyzed in accordance with EPA method 600/R-93/116 and 600/M4-82-020 which has a detection limit of approximately 1%. The analyst used a stereomicroscope to visually inspect the sample to determine homogeneity and material descriptions. The sample was then viewed under a polarized light microscope to determine the presence and percentage of asbestos and non-asbestos fibers.

After analysis is complete, all paperwork is filed together, and kept in a secure locked filing cabinet. Asbestos Northwest ensures that the files will not be tampered with at any time and will only be removed if the client requests reanalysis or a modification to the report. If you have any concerns or comments, contact us at [feedback@asbestosnw.com](mailto:feedback@asbestosnw.com) or fill out our survey at [asbestosnw.com/survey](http://asbestosnw.com/survey)

Thank you,

*Cathy Butler*

-These results are only applicable to the **samples enclosed** with information provided by the client. This report may not be reproduced, except in full, without the approval of the laboratory. This report may not be used to claim product certification, approval, or endorsement by NVLAP, NIST, or any agency of the U.S. Government.-



202412801  
LABORATORY CHAIN OF CUSTODY

Project: Building 3 - Roof Repair  
 Analysis requested: PCM  
 Relinquished by/Signature: [Signature]  
 Received by/Signature: Dan Laflay

Project #: 41302.014 Page 1 of 1  
 Date: 7/10/24  
 Date/Time: 7/10/24  
 Date/Time: 7/10/24 @ 11:00

Email ALL INVOICES to: [seattleap@pbsusa.com](mailto:seattleap@pbsusa.com)

**E-mail results to:**

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Willem Mager          | <input type="checkbox"/> Janet Murphy           | <input type="checkbox"/> Mae Reilly       |
| <input type="checkbox"/> Gregg Middaugh        | <input checked="" type="checkbox"/> Toan Nguyen | <input type="checkbox"/> Nick San         |
| <input checked="" type="checkbox"/> Mark Hiley | <input type="checkbox"/> Peter Stensland        | <input type="checkbox"/> Kameron DeMonnin |
| <input type="checkbox"/> Tim Ogden             | <input type="checkbox"/> Holly Tuttle           | <input type="checkbox"/> _____            |
| <input type="checkbox"/> Ryan Hunter           | <input type="checkbox"/> Ferman Fletcher        |   |
| <input type="checkbox"/> Claire Tsai           | <input type="checkbox"/> Cameron Budnick        |   |

**TURN AROUND TIME:**

- |                                  |  |                                      |
|----------------------------------|--|--------------------------------------|
| <input type="checkbox"/> 1 Hour  | <input checked="" type="checkbox"/> 24 Hours | <input type="checkbox"/> 3-5 Days    |
| <input type="checkbox"/> 2 Hours | <input type="checkbox"/> 48 Hours            | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> 4 Hours |  |                                      |

SAMPLE DATA FORM			
Sample #	Material	Location	Lab
41302.014 - PCM01	Residue asphaltic material on exhaust vent	Roof - south	<del>Asbestos</del> Asbestos
PCM02	Sealant, black at seam between flashing and shingle	Roof - north	NW ↓
PCM03	Black asphaltic tar under shingle	Roof - north	
PCM04	Black asphaltic tar under shingle	Roof - south	
PCM05	Roofing shingle	Roof - east elevation	
PCM06	Roofing shingle	Roof - west elevation	
PCM07	Felt paper under shingle	Roof - east elevation	
PCM08	Felt paper under shingle	Roof - west elevation	



Asbestos Northwest, LLC  
 30620 Pacific Hwy S, #103, Federal Way, WA 98003  
 Ph: (253) 941-4343



**Batch Number: 202412801**

**PLM Analysis by EPA Method 600/M4-82-020 and 600/R-93/116**

This report must not be used by the client to claim product certification, approval, or endorsement by NVLAP, NIST, or any agency of the U.S. Government.

**Attn: Mark Hiley**  
**PBS Environmental**  
**2517 Eastlake Ave, E Suite 100 Seattle, WA**  
**98102**

**Date Received: 7/10/2024**  
**Date Analyzed: 7/10/2024**  
**Samples Received: 8**  
**Samples Analyzed: 8**

**Project: 41302.014**

**Location: Building 3 Roof Repair**

Client Sample ID	Lab Sample ID	Layer	Description	Matrix	% Non-Asbestos Fibers	% Asbestos Fibers and Type
41302-014-PLM01		1	Black asphaltic material	Asphalt/binder	3% Cellulose	None Detected
41302-014-PLM02		1	Black asphaltic rubbery material	Asphalt/binder	1% Cellulose	None Detected
41302-014-PLM03		1	Black asphaltic material	Asphalt/binder	10% Cellulose, Glass fibers	None Detected
41302-014-PLM04		1	Black asphaltic fibrous material	Asphalt/binder	15% Cellulose	None Detected
41302-014-PLM05		1	Black asphaltic material with sand	Asphalt/binder, Sand	15% Cellulose, Glass fibers	None Detected
41302-014-PLM06		1	Black asphaltic material with sand	Asphalt/binder, Sand	15% Cellulose, Glass fibers	None Detected
41302-014-PLM07		1	Black asphaltic material with sand	Asphalt/binder, Sand	3% Cellulose, Glass fibers	None Detected
		2	Black asphaltic fibrous material	Asphalt/binder	30% Cellulose	None Detected
41302-014-PLM04		1	Black asphaltic fibrous material	Asphalt/binder	30% Cellulose	None Detected

# **Appendix B**

## **Certifications**



THIS IS TO CERTIFY THAT

**TOAN NGUYEN**

**HAS SUCCESSFULLY COMPLETED THE TRAINING COURSE**

for

**ONLINE AHERA ASBESTOS INSPECTOR REFRESHER**

In accordance with TSCA Title II, Part 763, Subpart E, Appendix C of 40 CFR

Course Date: 03/20/2024

Course Location: Online

Certificate: IRO-24-9206B



**CCB #SRA0615 4-Hr Training**

4-Hour Online AHERA Inspector Refresher Training; AHERA is the Asbestos Hazard Emergency Response Act enacting Title II of Toxic Substance Control Act (TSCA)

**Expiration Date:** 03/20/2025

For verification of the authenticity of this certificate contact:  
PBS Engineering and Environmental Inc.  
4412 S Corbett Avenue  
Portland, OR 97239  
503.248.1939

A handwritten signature in black ink that reads "Andy Fridley".

Andy Fridley, Instructor

**ROOF PLAN GENERAL NOTES**

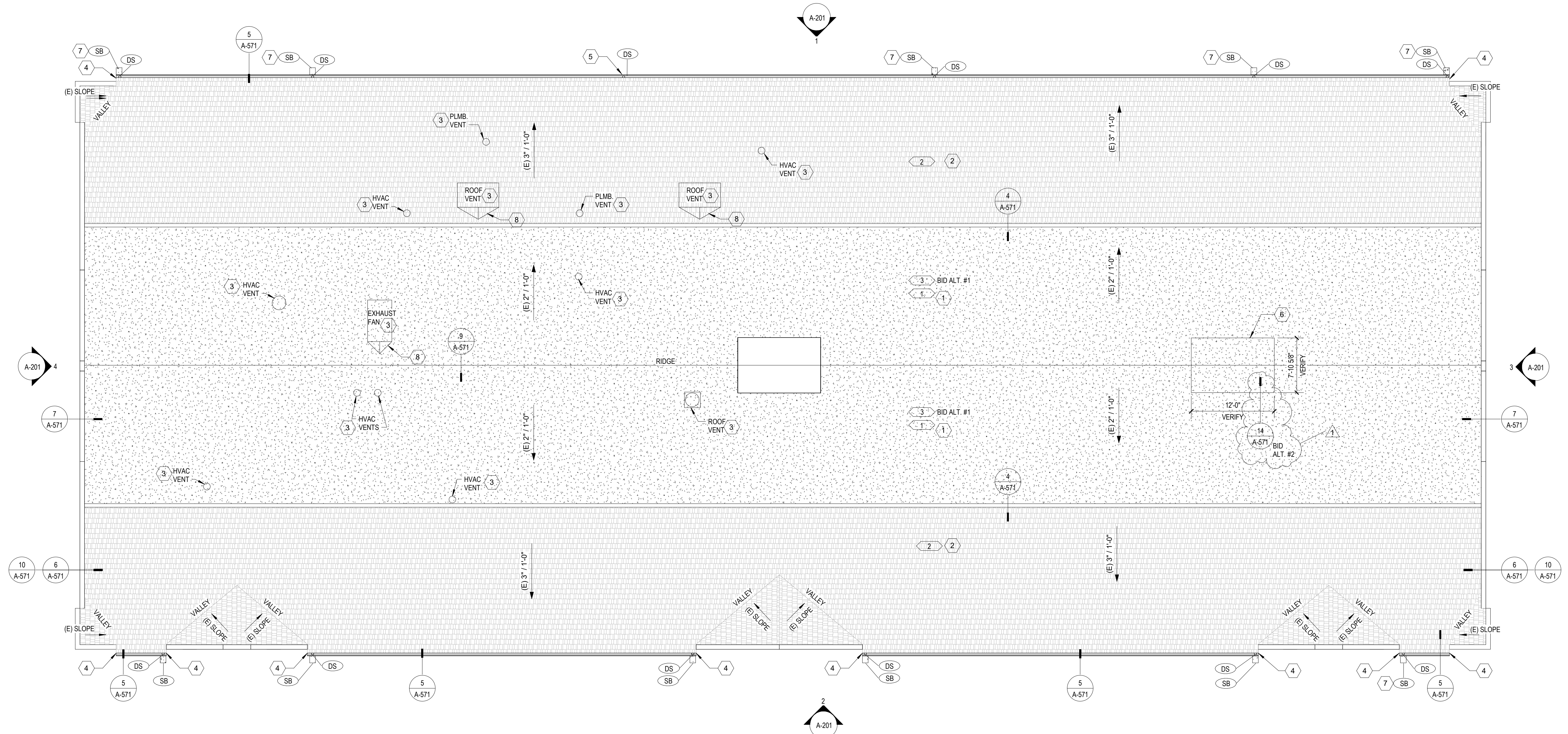
1. NEW CRICKETS SHALL BE 1/4-INCH PER FOOT MINIMUM.
2. TOP OF ROOF CURBS SHALL BE A MINIMUM OF 8 INCHES ABOVE ROOFING LEVELS.
3. DOWNSPOUTS TO BE REPLACED IN ORIGINAL LOCATIONS
4. INSTALL FLASHING AT VENTS, AND STACKS PER MANUFACTURER'S RECOMMENDATIONS IF DETAIL NOT SHOWN. SEE A-571 FOR TYPICAL ROOF DETAILS.
5. PROVIDE MANUFACTURED PRE-FORMED PIPE FLASHING AT ALL MECHANICAL AND PLUMBING VENTS IF EXISTING IS DAMAGED.

**ROOF PLAN KEY NOTES**

- 1 LOW-SLOPE MEMBRANE ROOFING SYSTEM SEE DETAIL: 1 / A-571
- 2 SHINGLE ROOFING SYSTEM SEE DETAIL: 2 / A-571
- 3 CLEAN AND PREP ALL EXISTING ROOF PENETRATIONS FOR FLASHING. SEE DETAIL: 11 / A-571
- 4 REPLACE ALL RAKE FASICA, TYP. SEE DETAIL: 8 / A-571
- 5 RECONNECT DOWN SPOUT TO EXISTING TIGHT LINE
- 6 SKYLIGHT OPENING TO BE FILLED IN. FRAME TO MATCH EXIST. 2X8S @ 16" O.C. AND FOIL-FACED POLYISOCYANURATE RIGID INSULATION (R-21), MECHANICALLY ATTACHED TO ROOF JOISTS. SITE VERIFY.
- 7 NEW SPLASH BLOCK TO MATCH EXISTING
- 8 ADD CRICKET TO EXISTING VENT LOCATION. SEE DETAILS.

**ROOF PLAN LEGEND**

- SPLASH BLOCK (SB) SEE ROOF PLAN GENERAL NOTES #7.
- APPROX. LOCATIONS OF ROOF PENETRATIONS. SEE NOTE 3
- DOWNSPOUT (DS)
- ROOF ASSEMBLY TAG. SEE ROOF TYPES ON DETAIL SHEET 1-3/A-571
- ASPHALT SHINGLES
- ASPHALT MEMBRANE



**2023-614 CM BLDG. 3 ROOF REPAIR**  
**WASHINGTON MILITARY DEPARTMENT**  
BUILDING 3, 3 INFANTRY DR, CAMP MURRAY, WA 98430

ORIGINAL SHEET SIZE = 22 X 34  
HALF SIZE REDUCTIONS = 11 X 17

REVISIONS:  
1 ADDENDUM - 01

DATE:  
3/11/2024

CONSTRUCTION DOCUMENTS

SHEET NO.  
**A-161**  
ROOF PLAN

PROJECT NORTH  
**ROOF PLAN**  
SCALE: 1/8" = 1'-0"

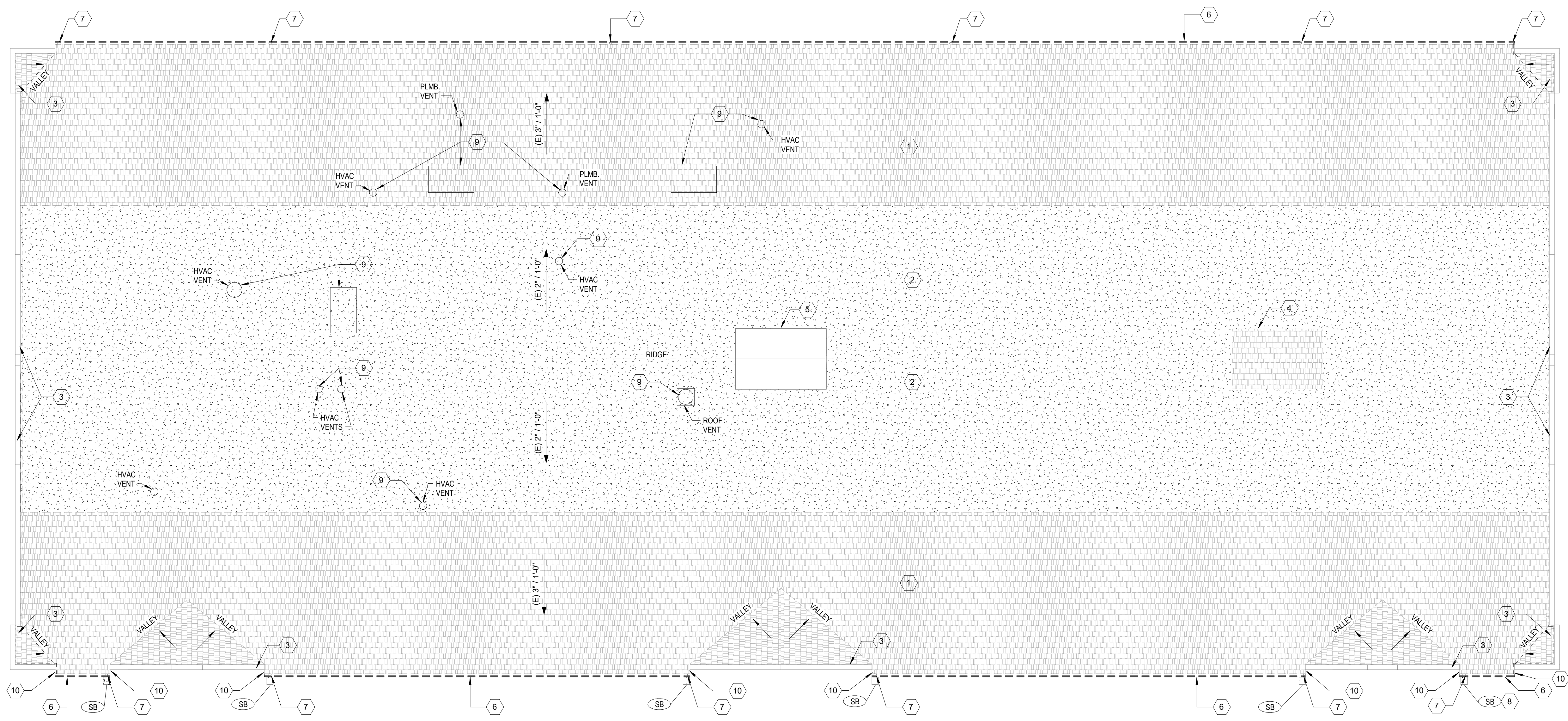
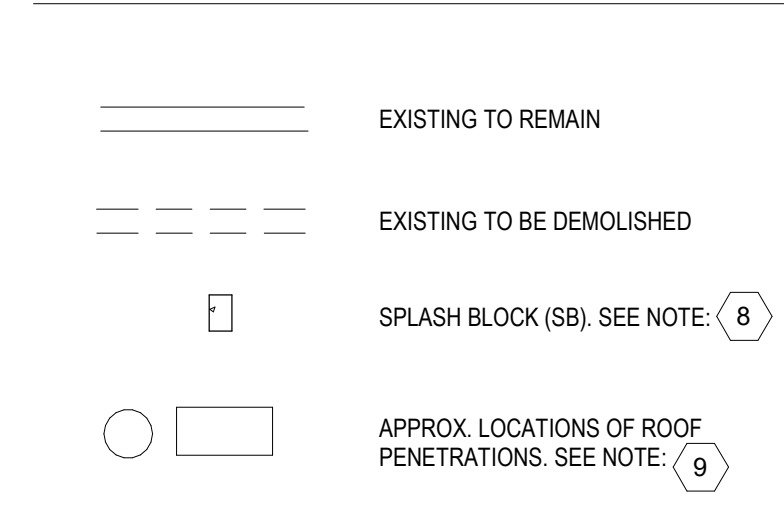
**DEMOLITION PLAN NOTES**

1. DEMOLITION GENERAL NOTES APPLY TO ALL DEMOLITION SHEETS.
2. EXISTING BUILDING WILL BE OCCUPIED DURING THE COURSE OF CONSTRUCTION. COORDINATE DEMOLITION WITH ARCHITECT AND OWNER'S REPRESENTATIVES. MAKE EVERY EFFORT TO MINIMIZE DISRUPTION OF OWNER'S OPERATIONS AND TO PROVIDE BUILDING OCCUPANT'S SAFETY. EXCESSIVE NOISE OR VIBRATION SHALL BE PRE-APPROVED AND COORDINATED WITH OWNER'S REPRESENTATIVE IN ADVANCE OF DISRUPTIVE ACTIVITIES.
3. VERIFY AND MAINTAIN LOCATION OF EXISTING POWER, COMMUNICATION, AND DATA CABLES TO PREVENT INTERRUPTION OF SERVICE.
4. DEMOLITION DRAWINGS ARE INTENDED TO SHOW THE GENERAL SCOPE OF THE REQUIRED DEMOLITION NECESSARY TO ACCOMMODATE THE FINISHED WORK OF THE CONTRACT DOCUMENTS. INCLUDE IN THE BID OTHER DEMOLITION WORK THAT IS NOT SPECIFICALLY CALLED OUT BUT IS REASONABLY INFERRABLE AS NECESSARY TO COMPLETE WORK OF THESE CONTRACT DOCUMENTS.
5. MAINTAIN A SECURE AND WEATHERTIGHT ENCLOSURE THROUGHOUT DURATION OF CONSTRUCTION.
6. VERIFY EXISTING CONDITIONS, DIMENSIONS, GRIDLINES, AND ELEVATIONS AND NOTIFY ARCHITECT OF DISCREPANCIES.
7. PROVIDE PROTECTION FOR EXISTING BUILDING MATERIALS AND EQUIPMENT THAT ARE TO REMAIN OR TO BE SALVAGED FROM DAMAGE DUE TO DEMOLITION OR CONSTRUCTION OPERATIONS PERFORMED UNDER THIS CONTRACT.
8. REPAIR OR REPLACE ITEMS DAMAGED AS A RESULT OF DEMOLITION OR CONSTRUCTION OPERATIONS TO MATCH EXISTING FINISH AND CONDITION.
9. REMOVE EXISTING ROOF, AND OTHER ITEMS INDICATED FOR REMOVAL IN THEIR ENTIRETY AND AS REQUIRED TO EXECUTE DEMOLITION AND CONSTRUCTION WORK DESCRIBED ON THE DRAWINGS.
10. SALVAGE AND REUSE DOWNSPOUTS AND ANY ROOF MECHANICAL/PLUMBING PENETRATIONS.
11. EXISTING ROOFING SHEATHING MAYBE REUSED IF IN GOOD CONDITION.
12. REPLACE ROOF SHEATHING IN LOCATIONS WHERE DAMAGE HAS OCCURED.
13. PATCH AND REPAIR WALLS, FLOOR, CEILING AND ROOF FOR ANY NEW AND DEMOLITION WORK BY ALL DISCIPLINES.
14. THE OWNER RESERVES THE RIGHT TO SALVAGE ANY MATERIALS.
15. EXISTING MATERIALS SHALL NOT BE REUSED UNLESS NOTED OTHERWISE OR AS AUTHORIZED BY ARCHITECT.
16. OBTAIN APPROVAL FROM **AUTHORITY HAVING JURISDICTION** PRIOR TO ANY DEMOLITION ACTIVITIES.

**DEMOLITION PLAN KEY NOTES**

- 1 EXISTING ROOFING: REMOVE & PROPERLY DISPOSE OF EXISTING ASPHALT SHINGLES AND ROOFING UNDERLAYMENT TO WOOD SHEATHING. ONLY REMOVE AS MUCH ROOFING AS CAN BE DRIED-IN PRIOR TO LEAVING THE SITE EACH DAY.
- 2 EXISTING ROOFING: REMOVE & PROPERLY DISPOSE OF EXISTING ASPHALT TORCH DOWN MEMBRANE TO WOOD SHEATHING. ONLY REMOVE AS MUCH ROOFING AS CAN BE DRIED-IN PRIOR TO LEAVING THE SITE EACH DAY.
- 3 FLASHINGS: REMOVE AND PROPERLY DISPOSE OF ALL SHEET METAL COPINGS, WALL, EDGE AND MISC. FLASHING, UON.
- 4 REMOVE COVER AND FLASHING AND CURB FROM SKYLIGHT OPENING. SEE DETAILS FOR INFILL OF OPENING.
- 5 PROTECT EXISTING SKYLIGHT IN PLACE
- 6 REMOVE ALL GUTTERS
- 7 SALVAGE AND REUSE ALL DOWNSPOUTS
- 8 REMOVE DAMAGED SPLASH BLOCK
- 9 SALVAGE AND REUSE ALL PLMB. & MECH. VENTS. TAKE CARE TO REMOVE AND REPLACE ALL FLASHINGS.
- 10 FACIA BOARDS AT EAVES TO BE REPLACED

**DEMOLITION PLAN LEGEND**



PROJECT NORTH  
**DEMOLITION ROOF PLAN**  
SCALE: 1/8" = 1'-0"

**2023-614 CM BLDG. 3 ROOF REPAIR**  
**WASHINGTON MILITARY DEPARTMENT**  
BUILDING 3, 3 INFANTRY DR, CAMP MURRAY, WA 98430

ORIGINAL SHEET SIZE - 22 X 34  
HALF SIZE REDUCTIONS - 11 X 17

REVISIONS:  
1 ADDENDUM - 01

DATE:  
3/11/2024

CONSTRUCTION DOCUMENTS  
SHEET NO.  
**AD101**  
DEMOLITION ROOF PLAN

**ADVERTISEMENT FOR BIDS**

**Addendum No. 1**

Sealed bids will be accepted for the following project:

PROJECT NO.: 2023-614

TITLE: CM Bldg. 3 Roof Repair

AGENCY: State of Washington, Military Department

PROJECT MANAGER: ~~Jerry Boone~~ [Anderew Hunt](#), CFMO

ESTIMATED BID COST RANGE: \$566,000 to \$625,000

**SUBMITTAL  
TIME/DATE/LOCATION:** **No later than 2:00 PM., Wednesday, 31 July 2024**  
**State of Washington**  
**Military Department**  
**Construction & Facilities Management Office**  
**Building #36 Quartermaster Road**  
**Camp Murray, WA 98430**

Public Bid Opening will commence at approximately 2:05 PM, on **Wednesday, 31 July 2024** at ~~Project site~~ [Building 36, CFMO Headquarters, Camp Murray, WA 98430.](#)

ISSUED BY: State of Washington Military Department  
Construction & Facilities Management Office

PRE-BID WALK-THROUGH: Prebid walk-through at 10:00 AM, Thursday, 10 July 2024, at Building 3, Infantry Dr, Camp Murray, WA 98430.

Camp Murray is a controlled access installation. Individuals seeking to enter Camp Murray must present credentials at the Visitor Control Center (VCC) to properly establish their identity. The VCC is located adjacent to the Main Gate.

Camp Murray uses the Defense Biometric Identification System (DBIDS) for entry to the installation.

At the VCC, military law enforcement personnel will verify that the vehicle driver has a valid driver's license, vehicle registration, and proof of insurance

and that all passengers have either a driver's license or other form of acceptable photo ID.

Following a routine background check, visitors will receive a temporary visitor pass and instructions allowing them to enter the installation.

To expedite entry, prospective bidders are strongly encouraged to pre-register for access by using the electronic [DBIDS Pre-Enrollment Application](#). For more detailed information on the access process visit the [Camp Murray Gate Access Information](#) website.

Pre-Bid attendees should allow **extra time** to complete the required background check and to gain access clearance.

#### SCOPE OF WORK:

Scope of Work includes the following:

1. Replacement of the existing 17,000 sf pitched asphalt shingle roofing system.
2. Removal of existing roofing material, flashings, and gutters to structure, replacement of damaged existing roof substrate materials, if any, and replacement of associated ridge caps, flashings, drip edges, and gutters.

Plans and Specifications may be viewed at the following plan centers: Builders Exchange of Washington, Everett, WA; Daily Journal of Commerce, Seattle, WA; Infinite Source, LLC, Seattle, WA; Lower Columbia Contractors Association, Longview, WA; SW Washington Contractors Association, Vancouver, WA; Weekly Construction Reporter, Bellingham, WA.

Free-of-charge access to Project bid documents (plans, Specifications, addenda, and Bidders List) is provided to Prime Bidders, Subcontractors, and Vendors by going to [www.bxwa.com](http://www.bxwa.com) and clicking on "Posted Projects", "Public Works", and "Washington State Military Department". This online plan room provides Bidders with fully usable online documents with the ability to: download, view, print, order full/partial plan sets from numerous reprographic sources, and a free online digitizer/take-off tool. It is recommended that Bidders "Register" in order to receive automatic email notification of future addenda and to place themselves on the "Self-Registered Bidders List". Bidders that do not register will not be automatically notified of addenda and will need to periodically check the on-line plan room for addenda issued on this project. Contact Builders Exchange of Washington at (425) 258-1303 should you require assistance with access or registration.

Please direct questions regarding this project to the office of the Consultant, Sara Rickards, RA, KMB architects, 906 Columbia Street SW, Suite 400, Olympia, WA 98501, telephone (360) 352.8883, email [sararickards@KMB-architects.com](mailto:sararickards@KMB-architects.com). Within 24 hours following the bid opening, results will be available on the Military Department's web site at <https://mil.wa.gov/washington-military-department-contracts>.

Bidder Responsibility will be evaluated for this project. In determining bidder responsibility, the Owner shall consider an overall accounting of the criteria set forth in "DIVISION 00 RESPONSIBILITY CRITERIA". Please direct questions regarding this subject to the office of the Consultant.

The State of Washington prevailing wage rates are applicable for this public works project located in Pierce County. Bidders are responsible to verify and use the most recent prevailing wage rates. The "Effective Date" for this project is the Bid Form due date above. The applicable prevailing wage rates may be found on the Department of Labor & Industries website located at <https://secure.lni.wa.gov/wagelookup/>.

The Owner has Federal Funding or other special requirements for this project. The Bidder will be required to comply with the "DIVISION 00 SPECIAL CONDITIONS" section in the specifications. Please direct questions regarding this subject to the office of the Consultant.

The successful Bidder is required to register and create an account in the DES Diversity Compliance program (B2Gnow) at <https://des.diversitycompliance.com>. Voluntary numerical Diverse Business goals of 10% MBE, 6% WBE, 5% Washington Small Business, and 5% Veterans have been established for this project. Achievement of the goals is encouraged.

Bidders may contact the Office of Minority and Women's Business Enterprise (OMWBE) at <http://OMWBE.wa.gov/> to obtain information on certified firms. Bidders may also utilize Washington Small Businesses registered in WEBS at <https://pr-webs-vendor.des.wa.gov/> and Veteran-owned Businesses at <https://www.dva.wa.gov/veterans-their-families/veteran-owned-businesses/vob-search>.

The State reserves the right to accept or reject any or all bids and to waive informalities. Contingent upon receipt of Federal funds.

STATE OF WASHINGTON  
MILITARY DEPARTMENT  
CONSTRUCTION & FACILITIES MAINTENANCE OFFICE

AdvertisementForBids 3.16.2023